



6 Offenham Road, Evesham, WR11 3DY

Asking price £300,000





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Evesham, WR11 3DY

- Three bedrooms
- Scope to reconfigure and make your own
- Parking to the front and rear plus large single garage
- Situated on the edge of town

AN OLDER STYLE CHAIN FREE PROPERTY OFFERING GREAT POTENTIAL WITH REAR ACCESS AND SINGLE GARAGE

An excellent opportunity to acquire an older-style property situated on the edge of Evesham, offering well-proportioned accommodation, generous parking and considerable scope for the new owner to modernise and personalise to their own taste.

Lovingly owned and cared for over many years, the property provides a wonderful opportunity for buyers looking for a home with character and potential. Whether you are a first-time buyer looking to create your ideal home, a growing family seeking well-sized accommodation, or someone looking for a property that can be updated and improved over time, this home offers plenty of possibilities.

The accommodation briefly comprises an entrance porch leading into a welcoming hallway, with access to the principal reception rooms. The lounge provides a comfortable space for relaxing, while the separate dining room offers an ideal setting for family meals and entertaining. To the rear is a fitted kitchen, together with a useful conservatory providing additional living space and enjoying views towards the garden. A convenient downstairs cloakroom/WC completes the ground floor.

To the first floor are three bedrooms, providing flexibility for family living, guests or home-working, together with a family bathroom.

Externally, the property benefits from ample off-road parking to the front, while to the rear is a single garage with additional parking, providing useful storage and further off-road accommodation.

Situated on the edge of Evesham, the property is conveniently positioned for access to the town and its range of everyday amenities, while also offering easy access to the surrounding Worcestershire countryside.



Additional Information

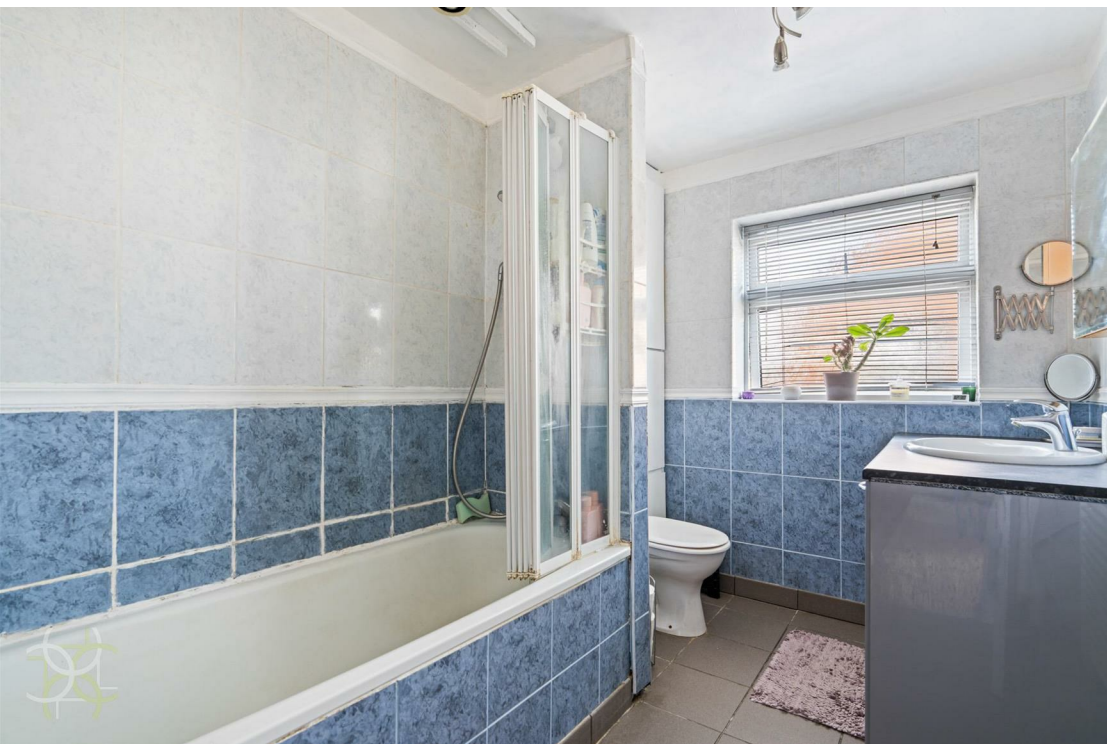
Tenure: We understand that the property for sale is Freehold

Local Authority: Wychavon District Council

Council Tax Band: We understand that the Council Tax Band for the property is Band C

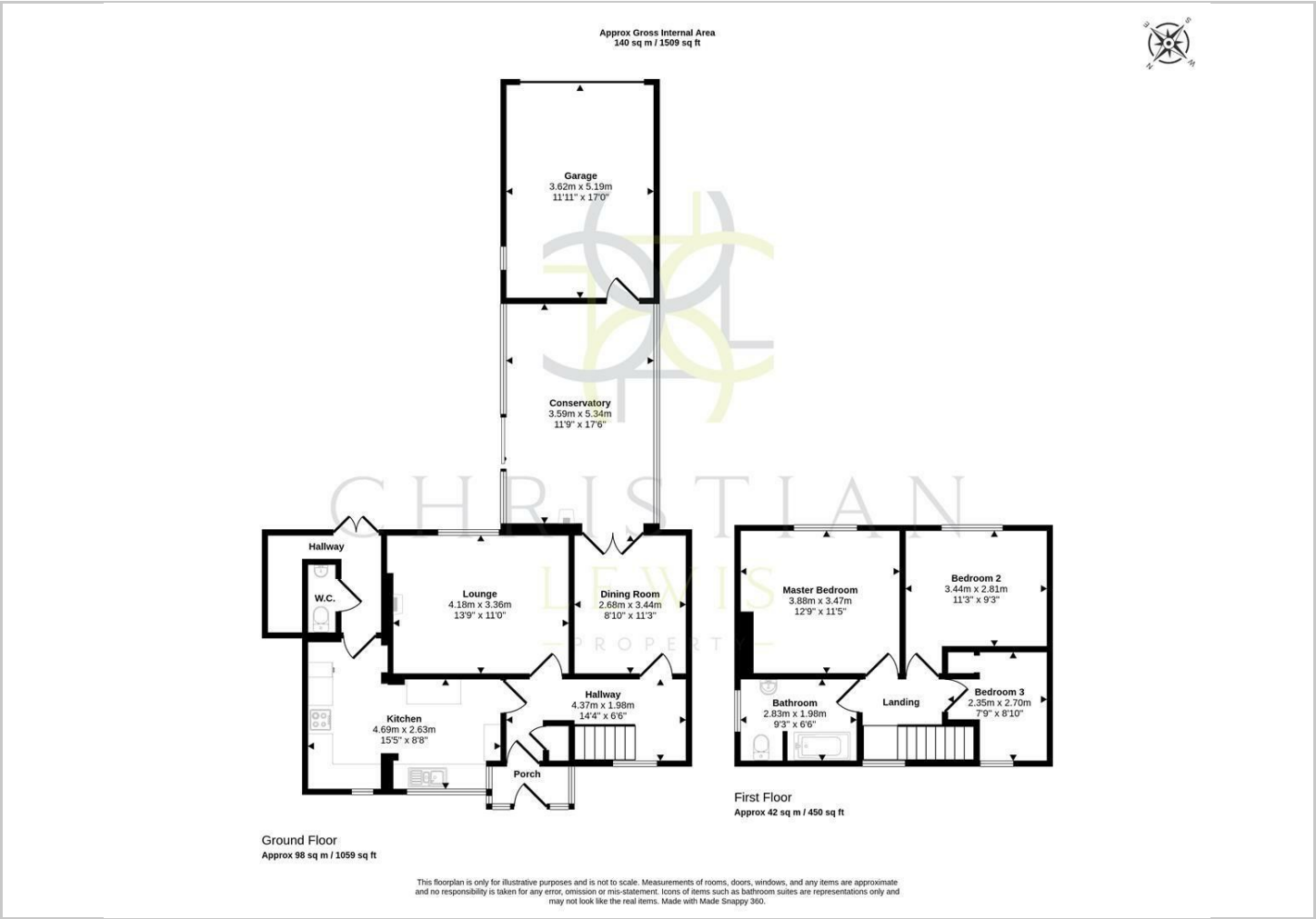
EPC Rating XXX







Floor Plans



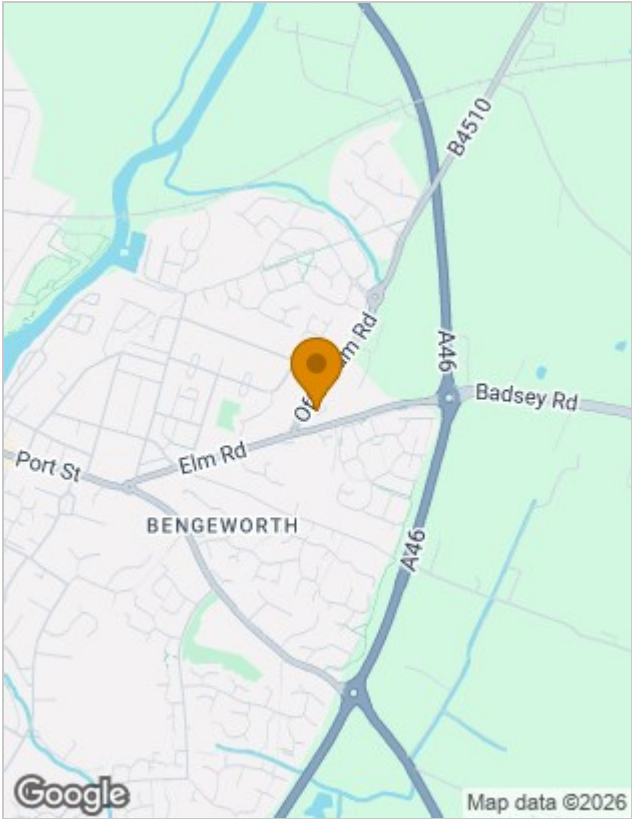
Viewing

Please contact our Evesham Office on 01386 442929 if you wish to arrange a viewing appointment for this property or require further information.

The particulars are set out as a general outline only for the guidance of intended purchasers or lessees, and do not constitute, any part of a contract. Nothing in these particulars shall be deemed to be a statement that the property is in good structural condition or otherwise nor that any of the services, appliances, equipment or facilities are in good working order. Purchasers should satisfy themselves of this prior to purchasing.

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Location Map



Energy Performance Graph

